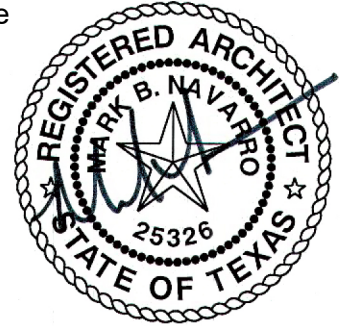


**ADDENDUM NO. 2**

DATE: September 28, 2020  
RE: 1921A1 | Crystal City, Texas – Main Post Office

FROM: Fisher Heck, Inc., Architects  
915 South St. Mary's Street  
San Antonio, Texas 78205  
(210) 299-1500



TO: All Plan Holders

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated August 7, 2020, as noted below. Acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of 1 Page(s).

**CHANGES TO PROPOSAL REQUIREMENTS/CONTRACT FORMS AND CONDITIONS OF THE CONTRACT:**

1.01 Section 012100 Allowance, 012200 Unit Prices & 012300 Alternates will not be required and shall be removed for the table of contents.

1.02 Is our lump sum bid to include the warm shell and interior finish out?

***Section 00 2113, 1.03(B) states "Work in this proposed Contract will comprise of all site work and the warm shell portion of the building and indicated in the contract documents. All work noted as finish out will be completed by the tenant and is not a part of this bid request."***

1.03 Will Section 017419 Construction Waste Management & Disposal be required on this project?

**Section 017419 will not be required for the scope of work specified in this proposal request.**

1.04 Section 01500 Temporary Facilities and Controls – Item 1.10 Postal Service Field Office. Will a temporary post office building be required?

**No temporary post office building will be required for this project.**

1.05 Section 011000 Summary of Work – Miscellaneous Contract Expenses - Item A These dollar amounts should be provided by the owner/design team to all the General Contractors to provide consistency and fairness with the bids. Please provide allowance amounts for each.

**The contractor shall include all fees and charges required to obtain a permit and completion of the project.**

1.06 Will any of the lumber materials be required to be fire treated?

**No fire treated lumber is required unless specifically noted in the documents.**

1.07 On Sheet S202 there is a detail section with no call out information. Is this supposed be 4 on S401?

**See revised S202 attached.**

1.08 Are any other Simpson ties or hangers required other than the hold down indicated on S401/1 and the column/beam bracket shown on S401/4?

**No.**

1.09 Would you please confirm if this is or isn't a tax-exempt project? It was mentioned in the pre-bid meeting that we are to included sales tax, but it seems as if the owner (Zavala County) would be a tax-exempt entity. Please confirm.

**The project is not tax-exempt.**

1.10 Can you please provide spec section 00 73 00 – Supplementary Conditions?

**This section will not be required for the project.**

1.11 Can you please confirm if low bid is the only criteria for the selection process?

**The low bid will not be the only criteria in the selection process. The owner has requested that all bidders provide two references and information on two projects that the bidder has completed in a similar size and scope of the project being bid.**

**The owner will evaluate all criteria (cost, project duration, and experience) submitted in the bid to determine the selected bidder.**

1.12 Can you please confirm that Item 1.10 in spec section 01 50 00 is to be removed or deleted from the specs?

**See Item 1.04 of this Addendum.**

1.13 Can you please provide a copy of the mandatory pre-bid sign-in sheet?

**See attached.**

1.14 Can you please confirm the bid bond amount is only 2.5% of the greatest amount bid?

**Per 00 2113 Instructions to Bidders, 6.01 a “Bid Bond of a sum no less than 2.5 percent of the Bid Amount on AIA A310 Bid Bond Form.”**

- 1.15 Is there a required completion date? Will the general contractors be considered based on only pricing or will the number of days for completion on the bid form be a consideration?

**There is no required completion date. See Item 1.11 of this Addendum on criteria for the selection process.**

- 1.16 In section 01 10 00 – Summary of Work, Item 1.3 A, it appears that these items should be provided as allowances from the owner or architect because in Item 1.3.b, it references that the general contractor can receive adjustments (up or down) in the event the number isn't exact. Should we include a specific amount for these or leave as blank?

**See Item 1.05 of this Addendum.**

- 1.17 Can you please provide Spec Section 01 21 00 – Allowances?

**See Item 1.01 of this Addendum.**

- 1.18 On sheet C-108, there is a detail regarding a perimeter fence and a chain link fence but we can't find a location for such fences. Could you please clarify?

**The chainlink fence and gate details refer to the chainlink fence that will be required to enclose the mechanical units located on the northwest corner of the building.**

- 1.19 Also do we need to figure the permit and any impact fees? And just to confirm there are no allowances to be figured, correct?

**Yes, all permit and impact fees shall be included in the bid. There are no allowances to be figured into this project.**

- 1.20 Please provide details for the beam supports at porches.

**See details 4 & 10/S401 for the wood beam to column connection.**

- 1.21 Drawing C-104: The Starting point for both driveways appear to be on the inside side of the existing sidewalk and it states to match existing grades at sidewalk, is this correct? Please clarify.

**The contractor shall remove the existing sidewalk in the location of the proposed driveway and install the proposed driveway to match the existing grade at the roadway.**

- 1.22 Spec 015000-3: A question was asked at the pre-proposal meeting if the need for a postal service field office should be included on the proposal. The Architect said not to include, but would you clarify in writing for all bidders?

**See Item 1.04 of this Addendum.**

- 1.23 Spec 015000-1: The bulletin board that is required per spec appears to be too small. Please advise if 36" x 30" is the correct size. The same requirement states that the bulletin board is to contain the wage rate scale. Is the Shell Building work applicable to

the wage scale or does this pertain to just the interior finish out work for the Postal Service?

**Section 015000 indicates a bulletin board “not less than 36 inches wide and 30” high”. This is the minimum size and if the contractor feels this is not adequate, then provide the size needed. The wage scale does not pertain to the shell portion of this project.**

- 1.24 Drawing C-106: The Flagmen requirement described on the drawing is unclear if this should be during the entire duration of the project or only when work is being performed on the driveways. Please clarify.

**The flagman will be required when the contractor is working on the proposed driveway.**

- 1.25 Drawing AS-100: Keynote 16 on the drawing calls out a riprap to be installed behind the concrete curb, but it references the civil drawings for details. There are no civil sheets that detail the riprap. Please provide details for the concrete thickness and reinforcement, etc.

**Keynote 16 shall read as follows: “NEW EARTHEN GRADING, SEE CIVIL”. The first six feet adjacent to the curb shall be sod and the remaining shall be hydroseed.**

- 1.26 Drawing C-108: Details call out for a perimeter fence and gate, but no perimeter fence is shown on the drawings. Please provide details and layout.

**See Item 1.18 of this Addendum.**

- 1.27 **Civil slot drain detail, see attached.**

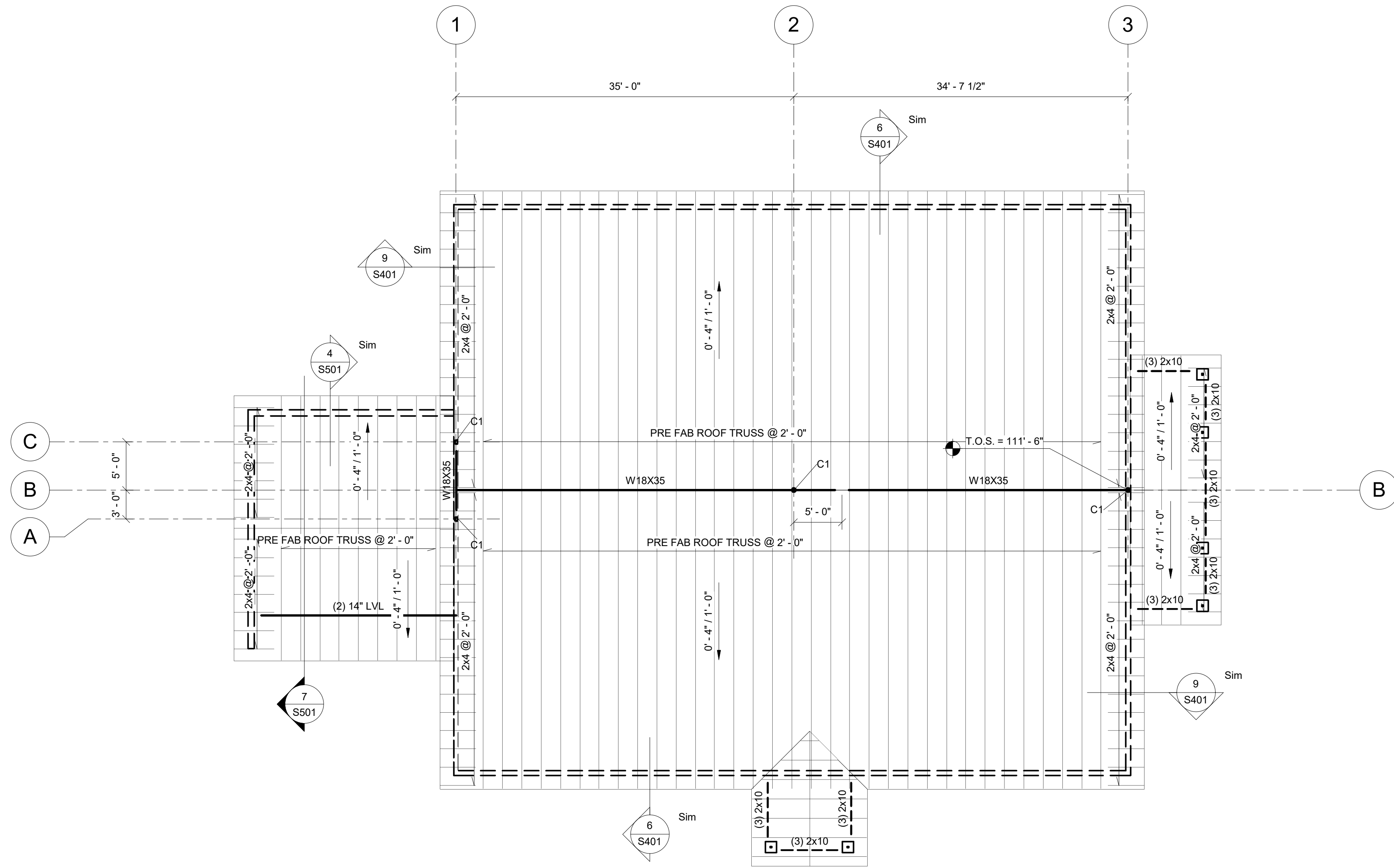
**END OF ADDENDUM**

# COUNTY JUDGE'S OFFICE

SIGN IN: September 18, 2020  
Post Office Pre-Bid Meeting

NAME:

Ron Donsey	JC Stoddard	RON@JCSTODDARD.COM	97.1
Marco Candia	GRECO CONSTRUCTION	GRECO@GRECOCONSTRUCTION.NET	97.1
Arnold Sanchez	Roth construction	a.roth@rothcorps.com	97.1
Scott Parker	Fronters Constructio	Len@FCdelRio.com	96.9
Ernesto Gonzalez	K-W Construction	ErnestoGonzalez@K-WConsti.COM	90.9
Cade Griggs	NC Construction Inc.	ncci.Cade@yahoo.com	97.1
Ariana Ortega	Garren Construction	ariana@garrentx.com	96.9
Kora Guerrero	Artex Construction	artex66@att.net	96.4
Sam Guerrero	Peley Construction		97.1/97.1
ARTHUR WATERMAN	WATERMAN CONSTRUCTION	ESTIMATING@WATERMANCIC.COM	96.8
Daniel Martinez	MC Builders LLC	DanielM@TXmcbuilders.com	96.9
Respin Castillo	Alpha Building Corp.	ecastillo@alphabuilding.com	96.4
Jeff Judkins	SATILE	jeff@satileinc.com	97.3



1 Roof Framing Plan  
1/8" = 1'-0"

**PLAN NOTES (CONTINUED):**

1. C1 - REF. STEEL COLUMN SCHEDULE ON SHEET S501
2. T.O.S. - DENOTES TOP OF STEEL ELEVATION RELATIVE TO STRUCTURAL DATUM
3. T.O.J. - DENOTES TOP OF STEEL JOIST RELATIVE TO STRUCTURAL DATUM
4. T.O.B. - DENOTES TOP OF STEEL BEAM RELATIVE TO STRUCTURAL DATUM
5. T.O.P. - DENOTES TOP OF PLATE RELATIVE TO STRUCTURAL DATUM



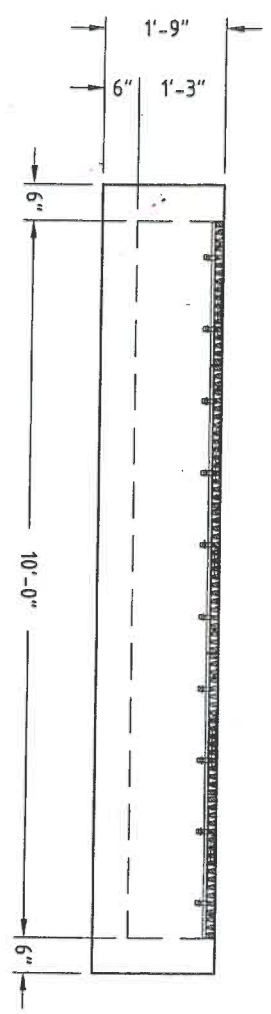
PROJECT:  
**CRYSTAL CITY MAIN POST OFFICE**

SHEET TITLE:  
**Roof Framing Plan**

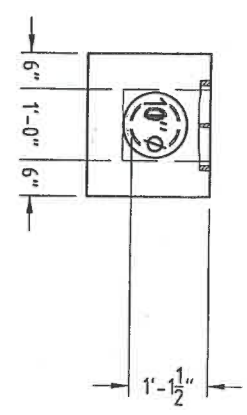
PROJECT NO: 19-03550

REVISIONS	DATE

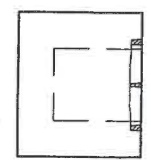
SHEET NO:  
**S202**



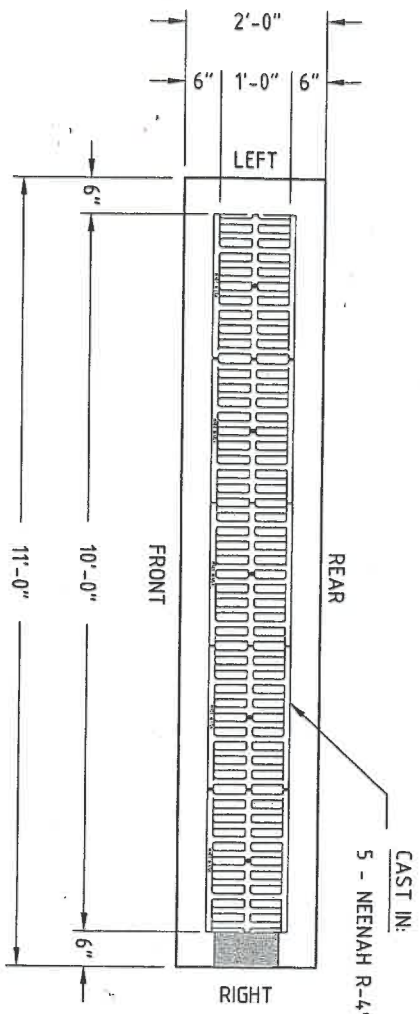
FRONT VIEW



RIGHT VIEW



LEFT VIEW



ELEVATION VIEW

CAST IN:  
5 - NEENAH R-4990-DX FRAME & GRATINGS



*Chien Y. Lee*

9-28-2020

# SLOT DRAIN DETAIL

N.T.S.